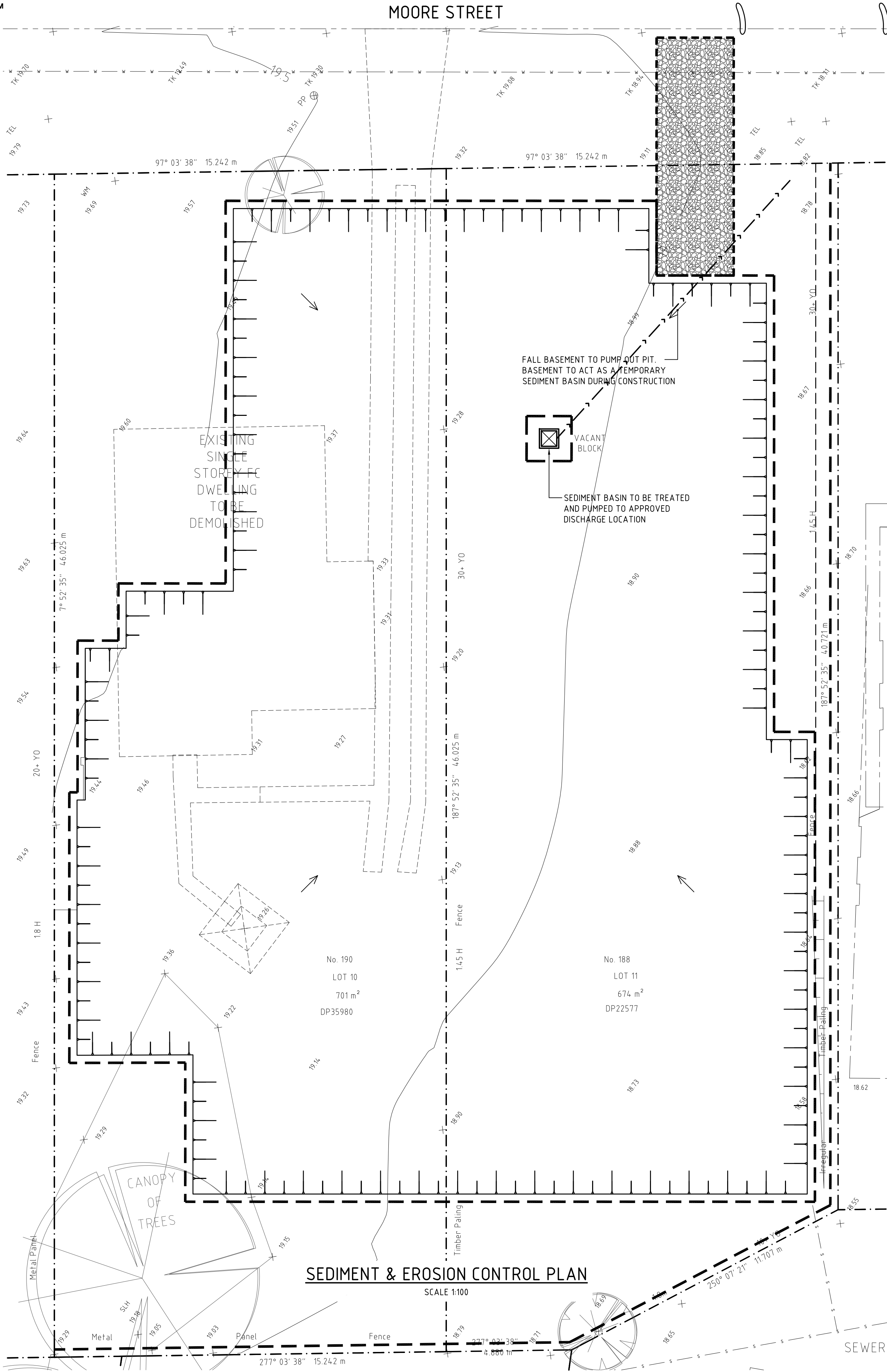




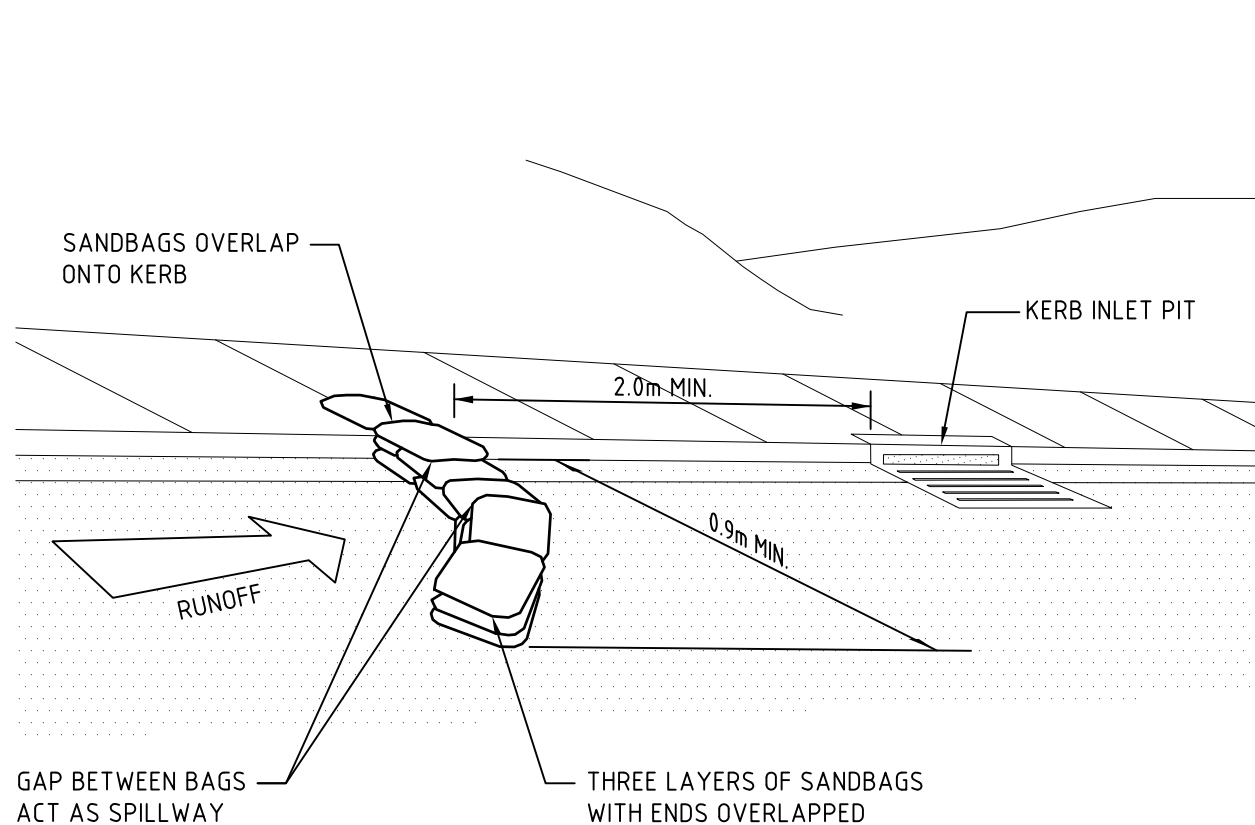
-
- Architectural rendering of a modern multi-story residential building. The building features a brick and wood-clad facade, large windows, and balconies with black metal railings. A covered walkway with a dark roof and white columns runs along the side of the building. The landscaping includes a brick wall, a small tree, and various shrubs in a terraced garden area. A note at the bottom left reads: "NOTE: LANDSCAPE INDICATIVE ONLY. REFER TO LANDSCAPE PLAN."

DRAWING NUMBER:	DRAWING TITLE:	DATE:
ARCHITECTURAL: dwp\julsuets		
BGMW 01 000 (J)	COVER SHEET	08.06.16
BGMW 01 001 (G)	3D VIEWS	08.06.16
BGMW 01 012 (A)	WALL SCHEDULE - EXTERNAL	03.06.16
BGMW 01 013 (A)	WALL SCHEDULE - INTERNAL	03.06.16
BGMW 01 021 (F)	SITE PLAN - ANALYSIS/ EXISTING DEMOLITION	03.06.16
BGMW 01 030 (E)	SITE PLAN - FUL PLAN - BASEMENT	03.06.16
BGMW 01 021 (F)	GENERAL ARRANGEMENT PLAN - BASEMENT	08.06.16
BGMW 01 202 (D)	GENERAL ARRANGEMENT PLAN - GROUND FLOOR	08.06.16
BGMW 01 203 (D)	GENERAL ARRANGEMENT PLAN - LEVEL 1-3 TYPICAL	08.06.16
BGMW 01 212 (A)	STRUCTURAL SETOUT PLAN - BASEMENT	03.06.16
BGMW 01 223 (A)	STRUCTURAL SETOUT PLAN - GROUND FLOOR	03.06.16
BGMW 01 233 (A)	STRUCTURAL SETOUT PLAN - LEVEL 1-3 TYPICAL	03.06.16
BGMW 01 242 (C)	FOUNDATION PLAN - BASEMENT	03.06.16
BGMW 01 262 (C)	DIMENSION PLAN - GROUND FLOOR	08.06.16
BGMW 01 263 (H)	DIMENSION PLAN - LEVEL 1	03.06.16
BGMW 01 264 (F)	DIMENSION PLAN - LEVEL 2	03.06.16
BGMW 01 280 (C)	DIMENSION PLAN - LEVEL 3	03.06.16
BGMW 01 280 (C)	ROOF PLAN	03.06.16
BGMW 01 361 (B)	REFLECTED CEILING PLAN - BASEMENT	03.06.16
BGMW 01 361 (B)	REFLECTED CEILING PLAN - GROUND FLOOR	03.06.16
BGMW 01 361 (B)	REFLECTED CEILING PLAN - LEVEL 1,3 TYPICAL FLOOR	03.06.16
BGMW 01 401 (B)	BUILDING ELEVATIONS	08.06.16
BGMW 01 402 (H)	BUILDING ELEVATIONS	08.06.16
BGMW 01 501 (B)	BUILDING SECTIONS	08.06.16
BGMW 01 502 (B)	BUILDING SECTIONS	08.06.16
BGMW 01 601 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 601 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 603 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 604 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 605 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 606 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 607 (A)	DETAILED SECTIONS	03.06.16
BGMW 01 631 (A)	CONSTRUCTION DETAILS - PLAN	03.06.16
BGMW 01 631 (A)	CONSTRUCTION DETAILS - PLAN	03.06.16
BGMW 01 682 (A)	STAIR DETAILS	03.06.16
BGMW 01 682 (A)	STAIR DETAILS	03.06.16
BGMW 01 701 (A)	INTERNAL ELEVATIONS	03.06.16
BGMW 01 702 (A)	INTERNAL ELEVATIONS	03.06.16
BGMW 01 761 (A)	JONERNY DETAILS	03.06.16
BGMW 01 762 (A)	JONERNY DETAILS	03.06.16
BGMW 01 763 (A)	JONERNY DETAILS	03.06.16
BGMW 01 801 (A)	DOOR SCHEDULE - ELEVATIONS	03.06.16
BGMW 01 801 (A)	DOOR SCHEDULE - ELEVATIONS	03.06.16
BGMW 01 900 (G)	SHADOW DIAGRAMS	08.06.16
BGMW 01 920 (F)	EXTERNAL & INTERNAL MATERIALS & FINISHES	08.06.16



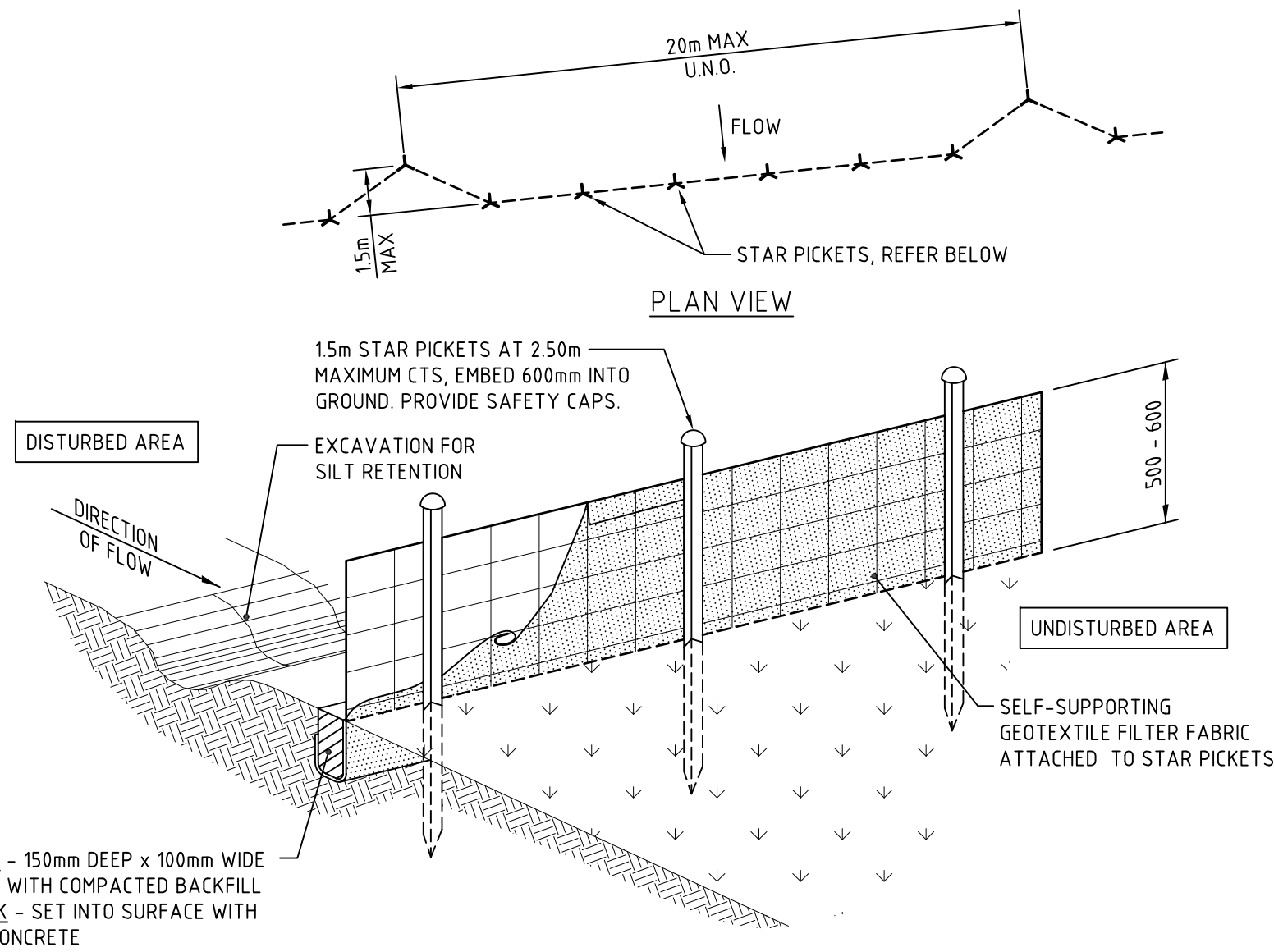
SEDIMENT & EROSION CONTROL PLAN

SCALE 1:100



SANDBAG KERB INLET SEDIMENT TRAP DETAIL

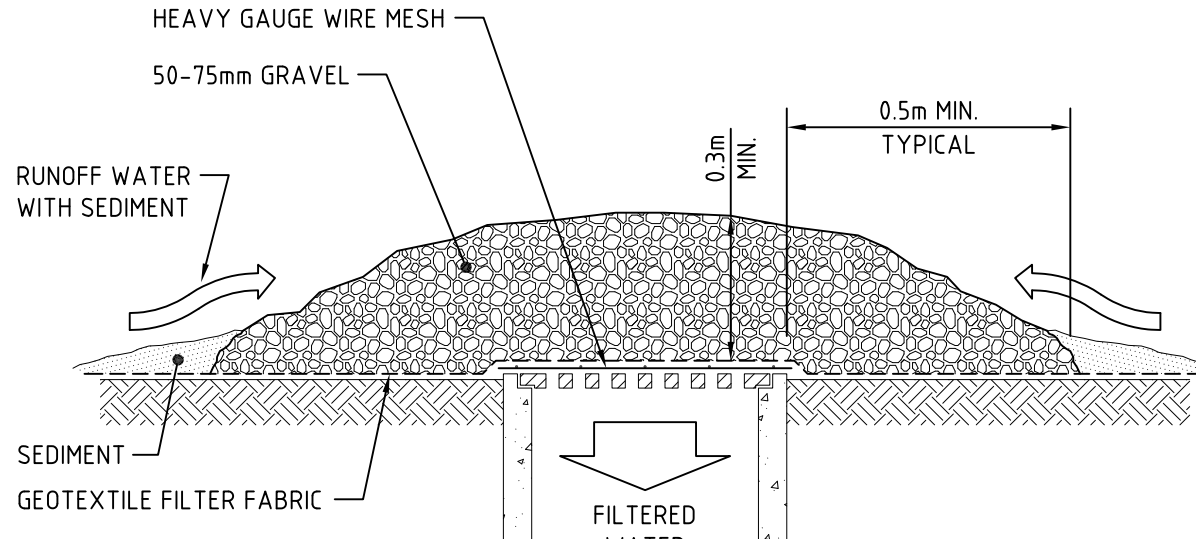
N.T.S.



SEDIMENT CONTROL FENCE DETAIL

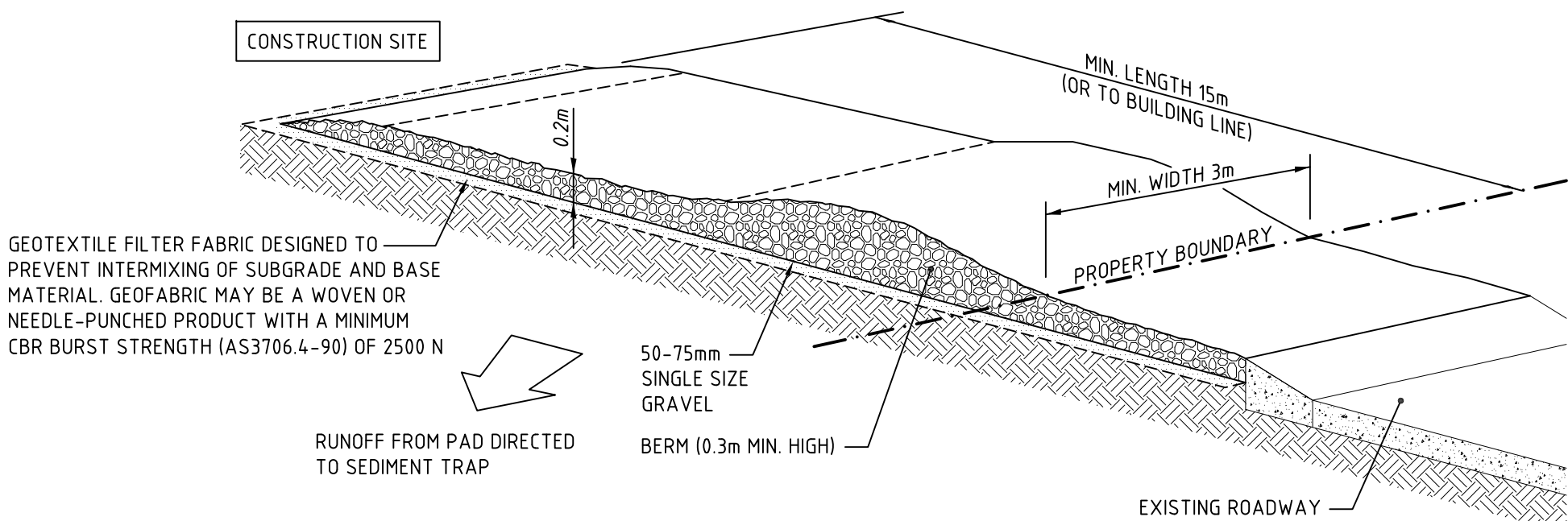
N.T.S.

IN ACCORDANCE WITH LANDCOM 'BLUE BOOK'
SD6-8 SEDIMENT FENCE



WIRE MESH AND GRAVEL DROP
INLET PIT SEDIMENT TRAP DETAIL

N.T.S.



STABILISED SITE ACCESS DETAIL

N.T.S.

IN ACCORDANCE WITH LANDCOM 'BLUE BOOK'
SD6-14 STABILISED SITE ACCESS

LEGEND

- DENOTES SEDIMENT CONTROL FENCE, REFER TO DETAIL ON THIS DRAWING
- [Pattern] DENOTES TEMPORARY STABILISED ACCESS, REFER TO DETAIL ON THIS DRAWING
- [Symbol] KERB INLET SEDIMENT TRAP, REFER TO DETAIL ON THIS DRAWING
- - - - - BOUNDARY LINE
- - - - - EXISTING SEWER SERVICE
- - - - - EXISTING WATER SERVICE
- - - - - EXISTING CONTOUR
- - - - - EXISTING SPOTLEVEL

NOTES

THE ARRANGEMENT OF SEDIMENT AND EROSION CONTROL MEASURES SHOWN ARE INDICATIVE ONLY AND RELATE TO A PARTICULAR STAGE OF THE CONSTRUCTION WORKS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DESIGN, CONSTRUCT AND MAINTAIN WHATEVER ADDITIONAL MEASURES THAT MAY BE REQUIRED FOR THE CONTRACTORS CONSTRUCTION METHODOLOGIES, IN ORDER TO MEET ALL CONDITIONS AND REQUIREMENTS IMPOSED BY ANY STATUTORY AUTHORITY

THE POSITION OF ALL EXISTING SERVICES SHOWN SHOULD BE REGARDED AS APPROXIMATE ONLY AND NOT NECESSARILY COMPREHENSIVE. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS AND INFORM ALL AUTHORITIES PRIOR TO ANY EXCAVATION

EXISTING CONTOURS ARE SHOWN AT 0.50m CONTOUR INTERVALS

REFER TO DRAWINGS
BGGMV-C-01 & BGGMV-C-02 FOR
CONSTRUCTION NOTES



**Energy Rating** Certificate Number14431205

☐ single-dwelling rating

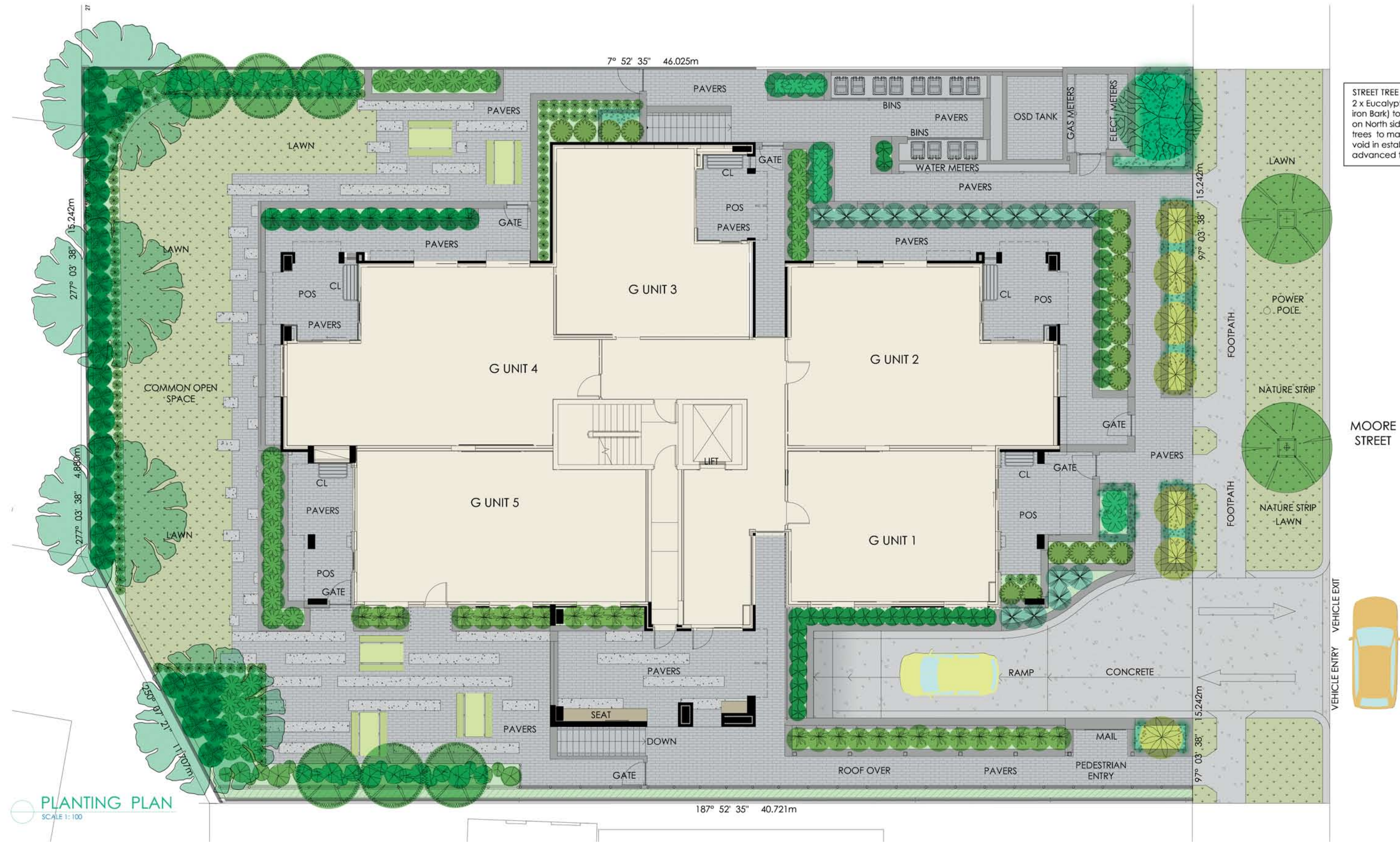
☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating _____ MJ/m²
cooling _____ MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number David Seddon VIC/BDV/12/1443

Assessor Signature  Date 05Feb15



STREET TREES



Red Bottle Brush Red Iron Bark



Magnolia 'Little Gem' Tree Blueberry Ash Tree Frangipani Tree



Agave Blue Jade Silver Falls



Wedding Lilly Liriope Maiden Grass



Dwarf Nandina Xanadu Dwarf Pittosporum



Indian Hawthorn Snake Plant Cardboard Cycad

PLANT SYMBOL LEGEND

TREES	PLANTS

PLANT SCHEDULE

Tree Species	Common Name	Quantity	Pot Size	Install Height	Install Width	Final Height	Final Width
Callistemon citrinis (Street Tree)	Red Bottle Brush	4	45 Lt	120cm	80cm	500cm	300cm
Elaeocarpus reticulatus	Blueberry Ash Tree	4	45 Lt	150cm	90cm	6m	4m
Eucalyptus sideroxylon (Street Tree)	Red Iron Bark	2	45 Lt	150cm	80cm	10m	6m
Magnolia 'Little Gem'	Dwarf Evergreen Magnolia	6	30cm	90cm	50cm	350cm	200cm
Plumeria 'rubra'	Red Frangipani	1	45 Lt	100cm	80cm	400cm	400cm
Plant Species							
Agave attenuata	Agave	8	20cm	30cm	30cm	90cm	90cm
Crassula ovata 'Blue Bird'	Blue Jade	17	20cm	30cm	20cm	80cm	80cm
Dichondra 'Silver Falls'	Silver Dichondra	30	15cm	10cm	20cm	25cm	150cm
Diets robinsonia	Wedding Lilly	46	15cm	30cm	20cm	80cm	60cm
Liriope muscari	Liriope	80	15cm	25cm	10cm	35cm	30cm
Miscanthus sinensis 'Hiawatha'	Maiden Grass	33	20cm	40cm	40cm	150cm	80cm
Nandina domestica 'Golf Stream'	Dwarf Nandina	17	15cm	20cm	20cm	50cm	50cm
Philodendron 'Xanadu'	Xanadu	8	15cm	25cm	10cm	120cm	120cm
Pittosporum 'Miss Muffet'	Dwarf Pittosporum	31	20cm	20cm	20cm	80cm	80cm
Rhaphiolepis indica 'Snow Maiden'	White Indian Hawthorn	30	20cm	30cm	30cm	80cm	80cm
Sansevieria sp.	Snake Plant	34	20cm	30cm	20cm	80cm	50cm
Zamia furfuracea	Cardboard Cycad	6	30cm	30cm	30cm	90cm	120cm



PHOTO ONE | VACANT BLOCK WITH ADJACENT DWELLING TO BE DEMOLISHED (SHOWN RED) & NEIGHBOURING DWELLING TO BE RETAINED.



PHOTO TWO | DWELLING TO BE DEMOLISHED (SHOWN RED) WITH NEIGHBOURING DWELLING TO BE RETAINED.



PHOTO THREE | STREETScape



Energy Rating

Certificate Number14431205

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating MJ/m²

cooling MJ/m²

Recessed downlights confirmation:

☐ Rated with

☒ Rated without

Assessor Name/Number

David Seddon

VIC/BD/AV/12/1443

Assessor Signature



Date 05Feb15

LEGEND

BUILDING SETBACK TO 10 METERS ABOVE GROUND

BUILDING SETBACK ABOVE 10 METERS FROM GROUND

D

DOOR

PP

POWER POLE

W

WINDOW

TREES TO BE RETAINED

- REFER TO LANDSCAPE PLANS

TREES TO BE REMOVED

- HEIGHT LESS THAN 3.5m
- CANOPY SPREAD LESS THAN 4m
- PRIMARY TRUNK DIAMETER LESS THAN 400mm
WHEN MEASURED 1m ABOVE EXISTING GROUND LEVEL
- SPECIES ARE LOPHOSTEMON SHRUB AT STREET FRONT AND LEPTOSPERMUM AT REAR OF SITE, BOTH NOT LISTED ON THE THREATENED SPECIES CONSERVATION ACT (TSC) 1995

NOTES

1. ENSURE THAT ENTIRE SITE IS FULLY FENCED AND SECURED. ERECT TEMPORARY 1800mm HIGH METAL CHAIN WIRE SAFETY FENCE PANELS COVERED WITH DENSE SHADE CLOTH TO AREAS AS DRAWN ON A023 EXISTING SITE PLAN - DEMOLITION. ALLOW LOCKABLE DOUBLE GATE WITHIN TEMPORARY FENCING FOR TEMPORARY SITE ACCESS TO MOORE STREET.

2. THE INTENT OF THE DEMOLITION NOTES AND DRAWING IS TO INDICATE THE SCOPE OF DEMOLITION WORK REQUIRED TO PERMIT THE INSTALLATION OF NEW WORK INDICATED ON THE TENDER DRAWINGS. THE DEMOLITION DRAWINGS ARE BASED ON THE ORIGINAL SURVEY DOCUMENTS AND MAY NOT REFLECT THE ACTUAL EXISTING CONDITIONS. THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK REQUIRED WITH BOTH THE NEW WORK INDICATED AND THE ACTUAL FIELD CONDITIONS ACCOUNTED.

3. FIELD VERIFY ALL EXISTING CONDITIONS.

4. COORDINATION: REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL DEMOLITION DRAWINGS FOR WORK TO BE PERFORMED BY OTHER TRADES.

5. DUE CARE IS TO BE TAKEN TO AVOID DAMAGE TO ADJACENT AREAS SCHEDULED TO REMAIN.

6. PROMPTLY REPAIR DAMAGE TO ADJACENT AREAS SCHEDULED TO REMAIN CAUSED BY DEMOLITION WORK.

7. REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. DO NOT ALLOW MATERIAL AND DEBRIS TO ACCUMULATE ON SITE. COORDINATE LOCATION OF DUMPSTER PRIOR TO ITS DELIVERY.

8. EXCAVATE AND REMOVE ALL REDUNDANT SERVICES PIPES, CONDUITS, CABLES AND THE LIKE FROM SITE.

9. WHERE IN-GROUND SERVICES ARE TERMINATED SUFFICIENTLY BEYOND BUILDING BOUNDARIES, CAP & PEG FOR FURTHER IDENTIFICATION & USE.

10. IF UNANTICIPATED HVAC, ELECTRICAL, PLUMBING OR STRUCTURAL ELEMENTS ARE ENCOUNTERED WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN, NOTIFY ARCHITECTS IMMEDIATELY.

11. MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS AND SHORING SHALL BE USED WHERE NECESSARY TO AVOID COLLAPSE OF THE STRUCTURE. SHORING MUST BE DONE IN A MANNER THAT WILL NOT INTERFERE WITH THE NEW WORK. IN NO CASE WILL PRESENTLY SUPPORTED LOADS BE ALLOWED TO BE UNSUPPORTED.

12. CLEAR & REMOVE FROM PORTION OF SITE AS INDICATED ON PLAN ALL VEGETABLE MATTER & ORGANIC MATERIAL FROM TOP 100mm OF TOP SOIL.

13. WHERE REDUNDANT SOAK WELLS OR SOAK WELLS THAT WILL BE MADE REDUNDANT DUE TO THE DEMOLITION WORKS ARE PRESENT, THEY SHALL BE REMOVED FROM SITE AND THE HOLES BACK FILLED WITH CLEAN SAND AND COMPACTED.

14. ALL TREE REMOVALS SHALL BE PERFORMED BY A QUALIFIED TREE SURGEON.

15. ENSURE A 'DIAL BEFORE DIG' IS PERFORMED PRIOR TO ANY EXCAVATION WORKS.

16. ENSURE EXISTING NEIGHBOURS' STRUCTURES AND PROPERTIES TO BE RETAINED INCLUDING BUT NOT LIMITED TO PAVING, KERBING, BITUMEN PAVEMENT, FENCING AND VEGETATION ARE PROTECTED DURING DEMOLITION. RE-INSTATE AS REQUIRED IF DAMAGED.

17. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED AND REMOVED BY A SPECIALIST.

18. ALLOW TWO WEEKS FOR DEMOLITION. TO BE UNDERTAKEN BEFORE CONSTRUCTION COMMENCES ON SITE.

NSW GOVERNMENT

Family & Community Services

Land & Housing Corporation

South East Region

LOCKED BAG 4009

ASHFIELD NSW BC1800

PHONE No (02) 8753 9000

www.facs.nsw.gov.au

Architect

dwp|suters

www.dwpsuters.com

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Notes

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Verify all dimensions and levels on site and report any discrepancies to designers for direction prior to the commencement of work.

Drawings are to be read in conjunction with all other contract documents.

Use digital dimensions only. Do not scale from drawings. Designers cannot guarantee the accuracy of content and intend the copies of drawings issued electronically.

The completion of the final Detail Check and Authorised copies is confirmation of the status of the drawing.

The drawing shall not be used for construction unless endorsed by the Designer and submitted to the client.

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Issue	Description	Date	Chk	Auth
E	ISSUE FOR DA LODGEMENT	13.08.15	JR	CB
D	ISSUE FOR DA LODGEMENT	31.07.15	JR	CB
C	PRELIMINARY ISSUE FOR DA	20.04.15	JR	CB
B	ISSUE FOR PRE-DA REVIEW	10.03.15	AA	JR
A	SK COORDINATION	18.11.14	JR	JR

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STRUCTURAL & CIVIL ENGINEER
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ELECTRICAL ENGINEER
ELECTRICAL PROJECTS AUSTRALIA PTY
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MORTALITY & FIRE ENGINEER
MCCALLUM PFCA
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BASE CONSULTANT
SOLAR SMART
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RCA CONSULTANT
NEWCASTLE
PH 02 9494 3615
LANDSCAPING
OCTOPUS GARDEN
PH 02 9494 3615
SURVEY
BURTON & FIELD PTY. LTD.
PH 02 9494 3615

Project

LIVERPOOL GHR - BGGMV

Location

188-190 MOORE STREET LIVERPOOL NSW

Drawing

SITE PLAN - ANALYSIS/EXISTING / DEMOLITION

File Name

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PRELIMINARY

NOT FOR USE DURING CONSTRUCTION

Date Printed
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Scale
As Indicated @ A1

Project No
BGGMV

Stage
TD

Drawn
CB/JAC

Checked
JR

dwp|suters Project No
202946

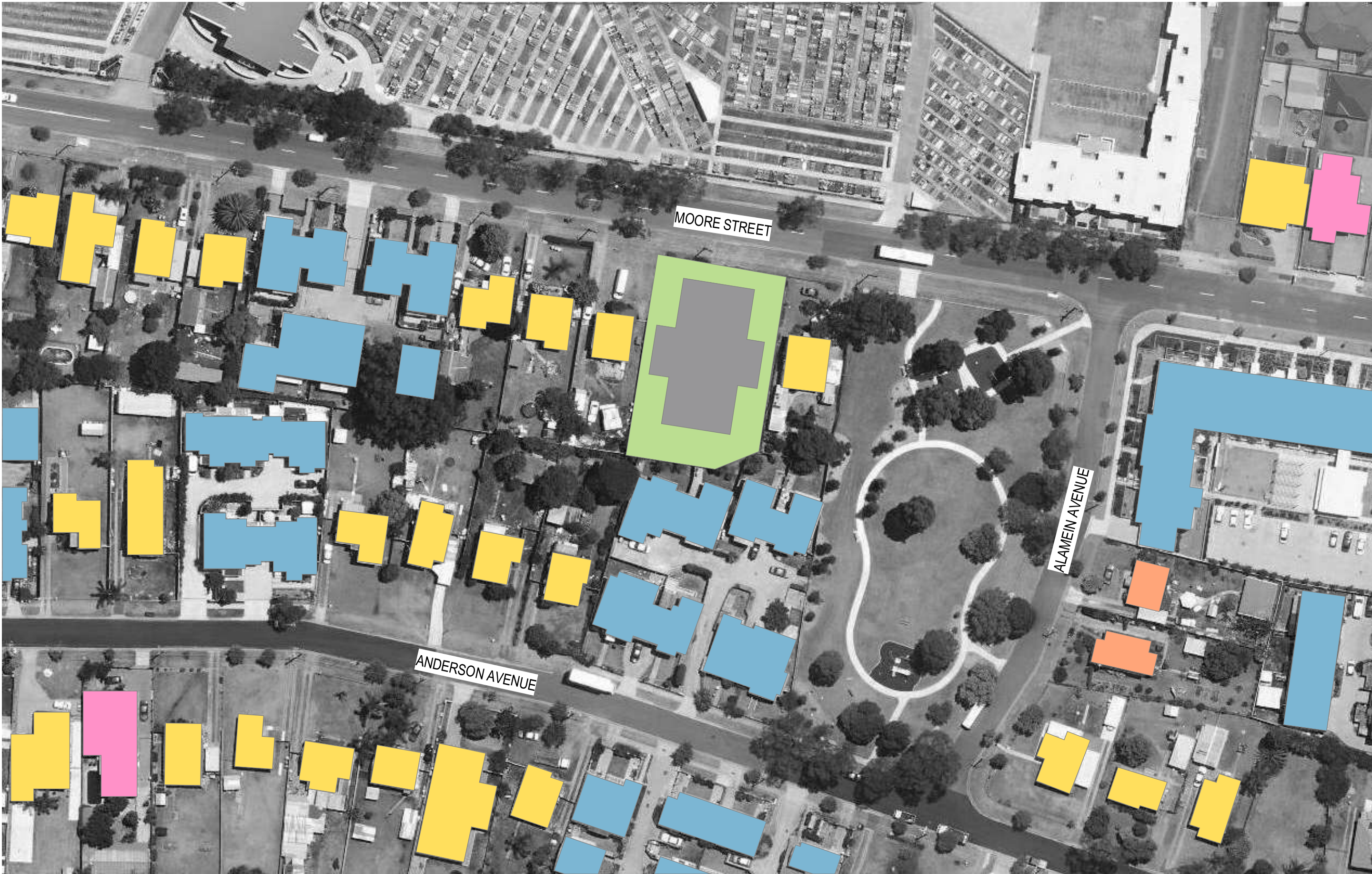
Drawing Number
A021

Rev
E




- EXISTING SINGLE STORY - TYPICAL / PREDOMINATE BLOCK / LOT PATTERNS / ORIENTATION
BLOCKS TYPICALLY, NORTH SOUTH / EAST WEST BLOCKS
NOTE: A COLLECTION OF ADJOINING 'TYPICAL BLOCKS' PROVIDE A GOOD POTENTIAL FOR INTENSIFICATION
- EXISTING SINGLE & MULTI STORY - AMALGAMATED AND SUBDIVIDED BLOCKS IN THE AREA
- EXISTING MULTI STORY - LOTS WITH LESS POTENTIAL FOR INTENSIFICATION
- EXISTING SINGLE STORY - LOTS WITH MORE POTENTIAL FOR INTENSIFICATION
- SUBJECT SITE

1 BLOCKING ANALYSIS OF SITE AND SURROUNDING AREA - EXISTING



- EXISTING SINGLE STORY - TYPICAL / PREDOMINATE BLOCK / LOT PATTERNS / ORIENTATION
BLOCKS TYPICALLY, NORTH SOUTH / EAST WEST BLOCKS
NOTE: A COLLECTION OF ADJOINING 'TYPICAL BLOCKS' PROVIDE A GOOD POTENTIAL FOR INTENSIFICATION
- EXISTING SINGLE & MULTI STORY - AMALGAMATED AND SUBDIVIDED BLOCKS IN THE AREA
- EXISTING MULTI STORY - LOTS WITH LESS POTENTIAL FOR INTENSIFICATION
- EXISTING SINGLE STORY - LOTS WITH MORE POTENTIAL FOR INTENSIFICATION
- SUBJECT SITE WITH PROPOSED DEVELOPMENT - 4 STORY TO STREET

2 BLOCKING ANALYSIS OF SITE AND SURROUNDING AREA - PROPOSED

**Energy Rating** Certificate Number14431205

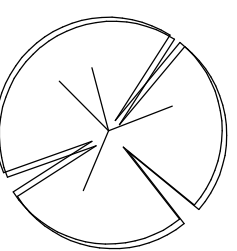
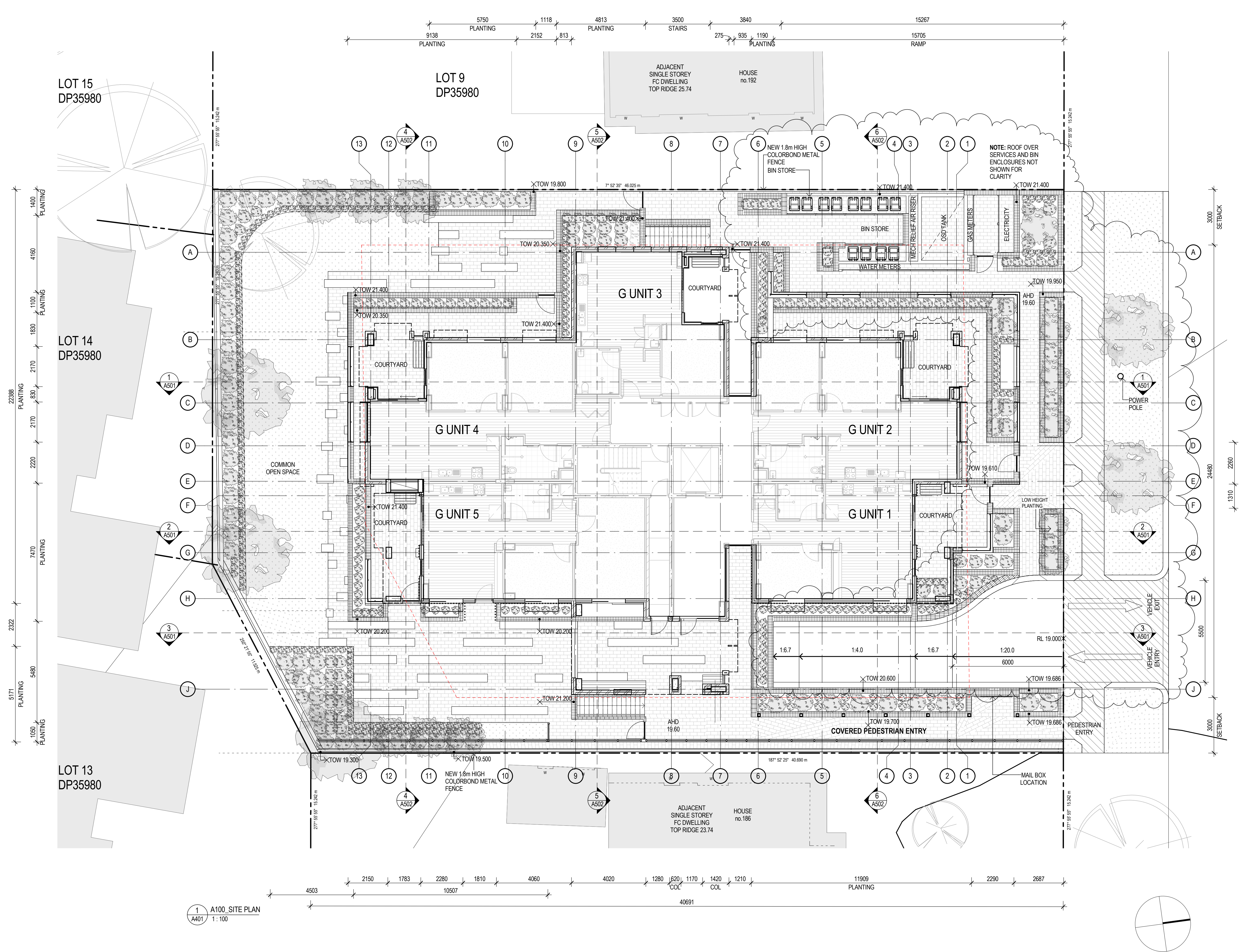
☐ single-dwelling rating _____ stars

☒ multi-unit development (attach listing of ratings) heating _____ MJ/m²
If selected, data specified is the average across the entire development cooling _____ MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number David Seddon VIC/BDVA/12/1443

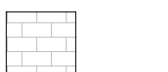
Assessor Signature _____ Date 05Feb15



EXISTING TREES TO BE RETAINED
REFER TO ARBORIST REPORT



VEHICULAR CROSSING AND FOOTPATH
TO COUNCIL SPECIFICATIONS



PAVING



GRASS



PLANTER BOX

NOTES

BUILDER TO CONFIRM EXACT DEPTH AND LOCATION OF SERVICES PRIOR TO CONSTRUCTION.

REFER TO CIVIL, HYDRAULIC, ELECTRICAL DOCUMENTATION FOR CONNECTION OF UTILITIES AND SERVICES.

ALLOW CONCRETE ENCASUREMENT OF THE EXISTING SEWER MAIN IN ACCORDANCE WITH SYDNEY WATER CORPORATION REQUIREMENTS. REFER TO CIVIL AND STRUCTURAL ENGINEER'S DRAWINGS FOR DETAILS.

REFER TO CIVIL AND STRUCTURAL ENGINEER'S DRAWINGS FOR RETAINING WALL DETAILS, PIERING AND BRIDGING, AND ASSOCIATED ZONE OF INFLUENCE OF EXISTING SERVICE LINES.

THE SIZING AND SPACING OF DOWNPIPES IS TO BE IN ACCORDANCE WITH AS 3500.3 (AUSTRALIAN STANDARDS FOR STORMWATER INSTALLATIONS).

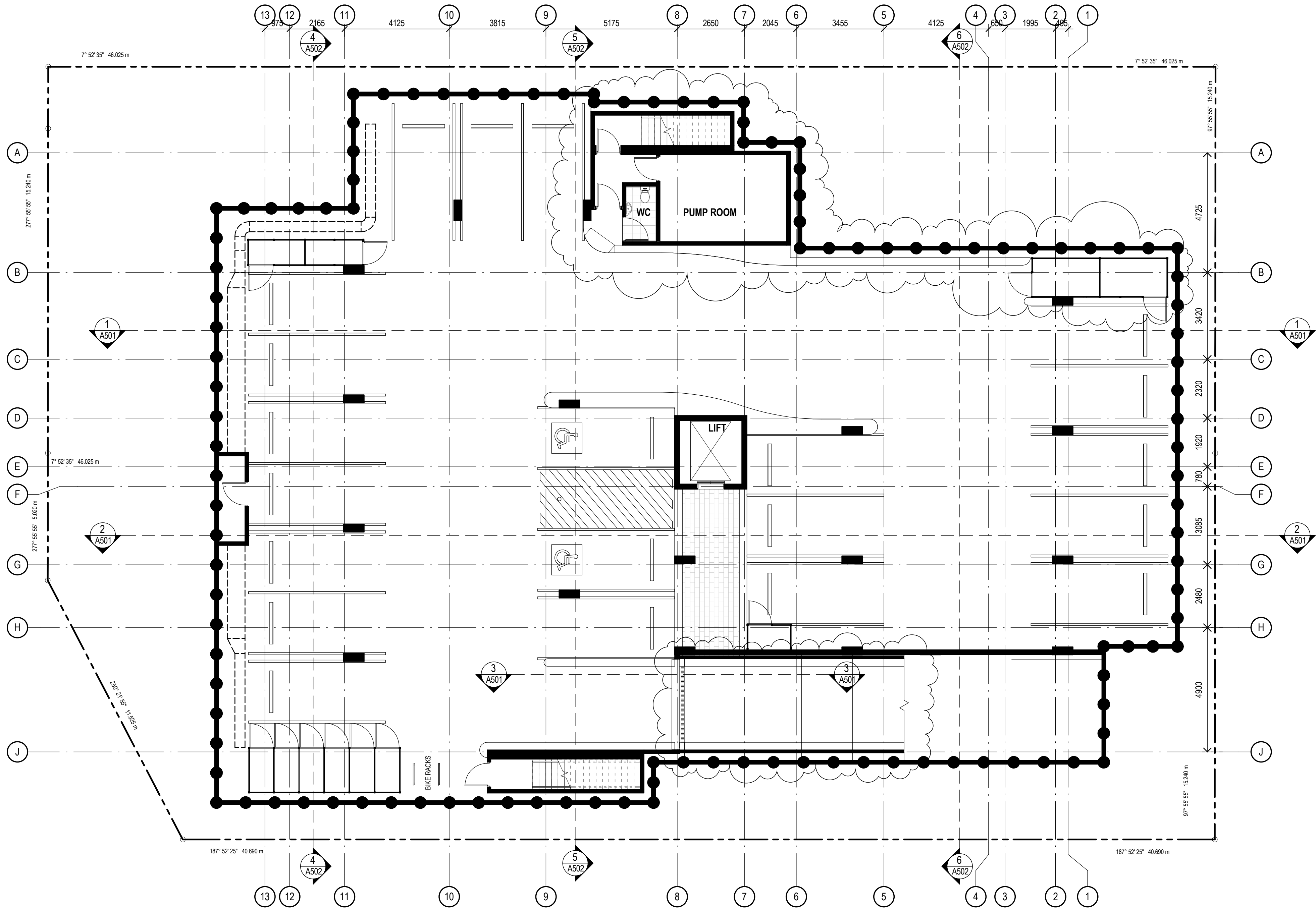
STORMWATER DRAINAGE REDIVERSION OF EXISTING EASEMENT PIPE HAS BEEN AGREED IN PRINCIPLE WITH COUNCIL ENGINEERS. APPROVAL TO CONSTRUCT PIPE IS SUBJECT TO COUNCIL APPROVAL.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPE DETAILS.

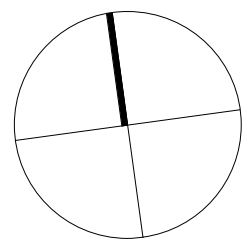
1 A100 SITE PLAN
1:100

ABBREVIATIONS LEGEND

AH	AWNING HUNG WINDOW
AS	ADJUSTABLE SHELIVING
AW	SUN SHADING AWNING
B	BASIN
BC	BARGE CAPPING
BH	BULKHEAD
BF	BRICK FENCE
BG	BOX GUTTER
BS	BIN STORE
BW	BRICK WALL
CF	COLORBOND FENCE
CFC	COMPRESSED FIBRE CEMENT
CJ	CONSTRUCTION JOINT
CL	CLOTHES LINE
CR	CLOTHES RAIL
CMF	COLORBOND METAL FLASHING
D	DROPPER
DP	DOWN PIPE
DR	DRAWER - SOFT CLOSE
EDB	ELECTRICAL DISTRIBUTION BOARD
EG	EAVES GUTTER
FBW	FACE BRICKWORK
FG	FIXED GLASS
FS	FIXED SHELIVING
FW	FLOOR WASTE
GD	GRATE DRAIN
HK	ROBE HOOK
HR	HAND RAIL
HWU	HOT WATER UNIT
LT	LAUNDRY TUB
LV	VENTILATION LOUVRE
MRS	METAL ROOF SHEETING
MW	MICROWAVE
MWC	METAL WALL CLADDING
PB	PLASTERBOARD
PCAB	POWDERCOATED ALUMINIUM BATTENS
PCP	PREFINISHED COMPOSITE PANEL
PMC	PREFINISHED METAL CAPPING
PNT	PANTRY
PRS	POLYCARBONATE ROOF SHEETING
RC	RIDGE CAPPING
REF	FRIDGE
RH	RANGEHOOD
RO	ROOF OVER
RW	RETAINING WALL
RWO	RAIN WATER OVERFLOW
RWT	RAIN WATER TANK
S	SINK
SH	SOAP HOLDER
SHR	SHOWER
SL	SKYLIGHT
SPR	COLORBOND SPREADER
SR	SHOWER ROSE
ST	STOVE
TH	TAP HANDLE
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
TSF	TIMBER-SCREENED FENCE
V	VANITY
VG	VALLEY GUTTER
WBC	WALL BRICK CAPPING
WO	WALL OVEN
WR	WARDROBE

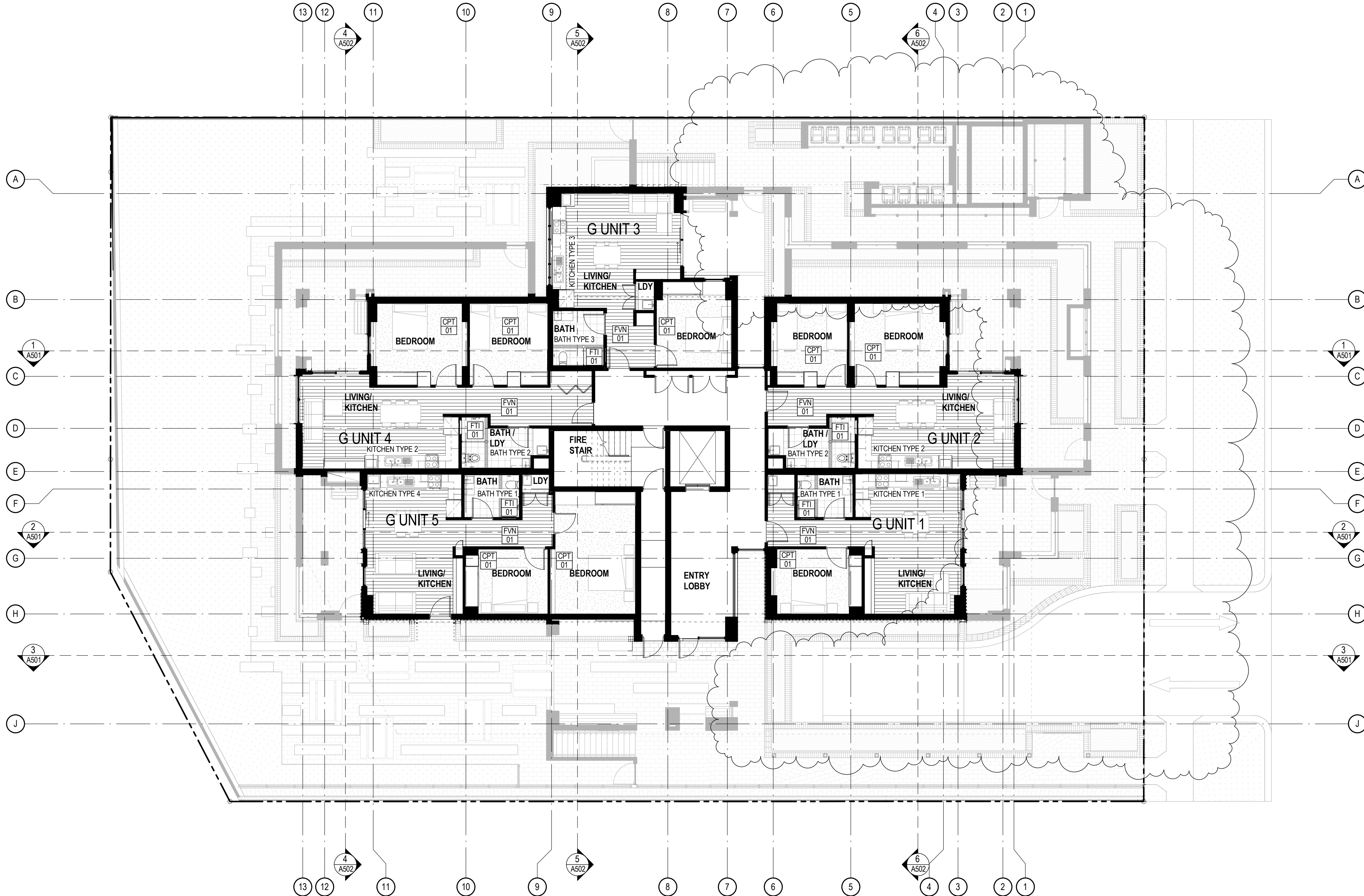


1 BASEMENT FLOOR PLAN
A401 1 : 100



ABBREVIATIONS LEGEND

AH	AWNING HUNG WINDOW
AS	ADJUSTABLE SHELIVING
AW	SUN SHADING AWNING
B	BASIN
BC	BARGE CAPPING
BH	BULKHEAD
BF	BRICK FENCE
BG	BOX GUTTER
BS	BIN STORE
BW	BRICK WALL
CF	COLORBOND FENCE
CFC	COMPRESSED FIBRE CEMENT
CJ	CONSTRUCTION JOINT
CL	CLOTHES LINE
CR	CLOTHES RAIL
CMF	COLORBOND METAL FLASHING
D	DROPPER
DP	DOWN PIPE
DR	DRAWER - SOFT CLOSE
EDB	ELECTRICAL DISTRIBUTION BOARD
EG	EAVES GUTTER
FBW	FACE BRICKWORK
FG	FIXED GLASS
FS	FIXED SHELIVING
FW	FLOOR WASTE
GD	GRATE DRAIN
HK	ROBE HOOK
HR	HAND RAIL
HWU	HOT WATER UNIT
LT	LAUNDRY TUB
LV	VENTILATION LOUVRE
MRS	METAL ROOF SHEETING
MW	MICROWAVE
MWC	METAL WALL CLADDING
PB	PLASTERBOARD
PCAB	POWDERCOATED ALUMINIUM BATTENS
PCP	PREFINISHED COMPOSITE PANEL
PMC	PREFINISHED METAL CAPPING
PNT	PANTRY
PRS	POLYCARBONATE ROOF SHEETING
RC	RIDGE CAPPING
REF	FRIDGE
RH	RANGEHOOD
RO	ROOF OVER
RW	RETAINING WALL
RWO	RAIN WATER OVERFLOW
RWT	RAIN WATER TANK
S	SINK
SH	SOAP HOLDER
SHR	SHOWER
SL	SKYLIGHT
SPR	COLORBOND SPREADER
SR	SHOWER ROSE
ST	STOVE
TH	TAP HANDLE
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
TSF	TIMBER-SCREENED FENCE
V	VANITY
VG	VALLEY GUTTER
WBC	WALL BRICK CAPPING
WO	WALL OVEN
WR	WARDROBE



1 GROUND FLOOR PLAN
A401 1:100